

RIOT GAMES

Riot Games Mercer Island

ISSUE FOR BACK CHECK_L3 TERRACE
December 22th, 2022

3003 77th Avenue Southeast
Mercer Island WA 98040

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

#RIOT GAMES

Owner
3003 77TH AVENUE SOUTHEAST
MERCER ISLAND, WQ 98040

BRUMBAUGH AND ASSOCIATES
LANDSCAPE
600 NORTH 85TH STREET, SUITE 102
SEATTLE, WA 98103

ARUP
MEP ENGINEER
1191 SECOND AVENUE, SUITE 400
SEATTLE, WA 98101

GRAPHIC SYMBOLS

ELEVATION INDICATION

Table with 2 columns: Symbol, Description. Includes Glass Symbol, Wood Veneer, Stone.

REFLECTED CEILING

Table with 2 columns: Symbol, Description. Includes Acoustic Ceiling & Grid, Ceiling Height Change, Finished Ceiling Height, etc.

Table with 2 columns: Symbol, Description. Includes Light Fixtures, Mechanical Fixtures, Finish.

Table with 2 columns: Symbol, Description. Includes Section Indications.

CONSTRUCTION

Table with 2 columns: Symbol, Description. Includes Column Grid Reference Number, Construction types (1-4 hour rated), Drawing Number, etc.

SECTION INDICATIONS

Table with 2 columns: Symbol, Description. Includes Acoustical Ceiling Tile, Aluminum, Brick, Carpet, Concrete, etc.

ABBREVIATIONS

Table with 3 columns: Letter, Description, Letter, Description. Lists various construction abbreviations like ACCESS, ABOVE FINISHED FLOOR, ALUMINUM, etc.

DRAWING INDEX

Table with 3 columns: Sheet Number, Sheet Name, Issue. Lists drawing sheets G0.105 through G0.202.

DEFERRAL SUBMITTAL

- 1. TEMPORARY CANVAS YURTS

GENERAL NOTE

- 1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.

CONSTRUCTION NOTES

- 1. ALL EXISTING CONSTRUCTION SHOWN TO REMAIN U.O.N.

PROJECT DIRECTORY

OWNER: RIOT GAMES
3003 77TH AVENUE SOUTHEAST
MERCER ISLAND, WA 98040

ARCHITECT: GENSLER
500 SOUTH FIGUEROA STREET
LOS ANGELES, CALIFORNIA 90071

LANDSCAPE: BRUNBAUGH & ASSOCIATES
600 NORTH 85TH STREET, SUITE 102
SEATTLE, WA 98103

ELECTRICAL: ARUP
1191 SECOND AVENUE, SUITE 400
SEATTLE, WA 98101

PROJECT INFORMATION

NAME: RIOT GAMES
3003 77TH AVENUE SOUTHEAST, MERCER ISLAND, WA 98040

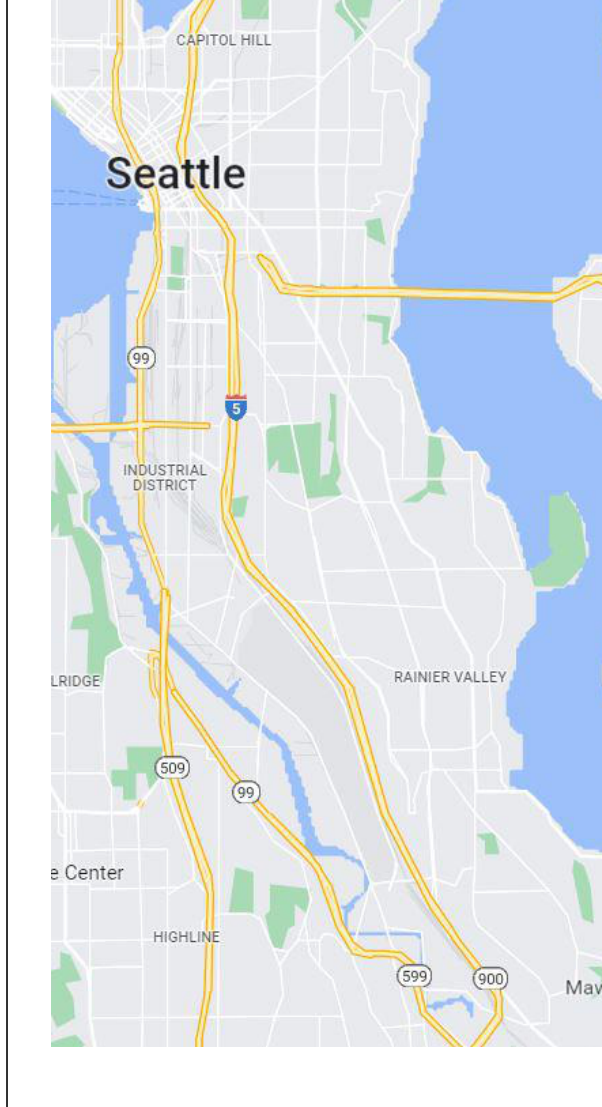
ASSESSOR'S PARCEL NO.: 531510-1015
Plot Block: 11
Plot Lot: 7 THRU 12

LEGAL DESCRIPTION: TENANT IMPROVEMENT FOR EXISTING TERRACE ON LEVEL 3 OF A 5-STORY COMMERCIAL BUILDING, 3,235 SF OF IMPROVEMENT.

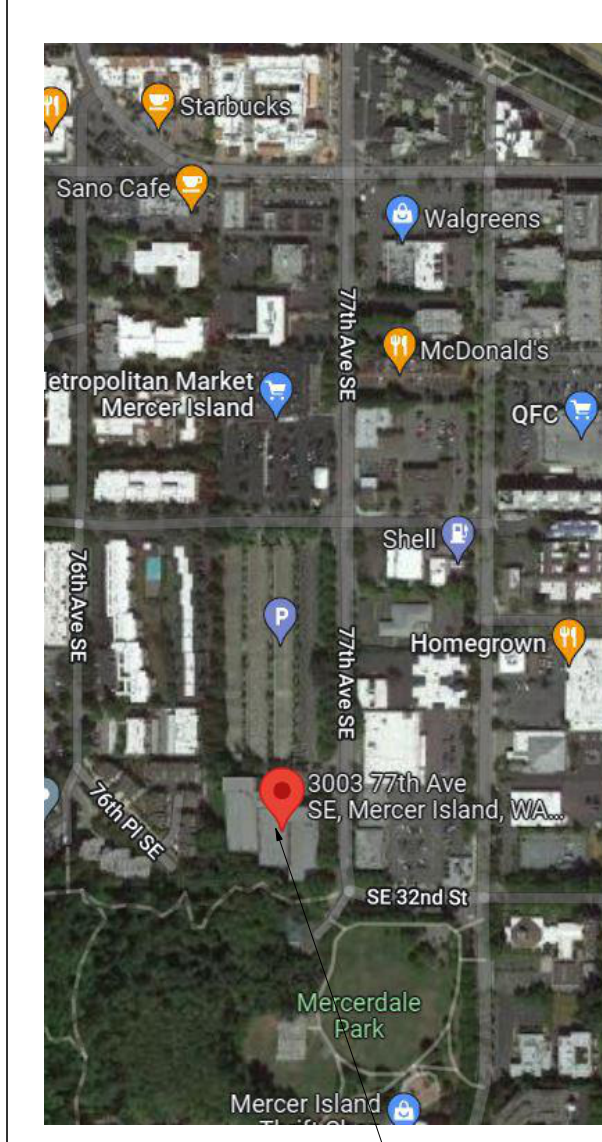
BUILDING HEIGHT: 3.5 STORIES
BUILDING AREA: LEVEL 01 - 31,041 SF
LEVEL 02 - 36,956 SF
LEVEL 03 - 26,428 SF
LEVEL 04 - 29,359 SF
TOTAL - 145,887 SF

APPLICABLE CODES: 2018 International Building Code (IBC) with Washington State and Mercer Island amendments
2018 International Fire Code (IFC) with Washington State and Mercer Island amendments

VICINITY MAP



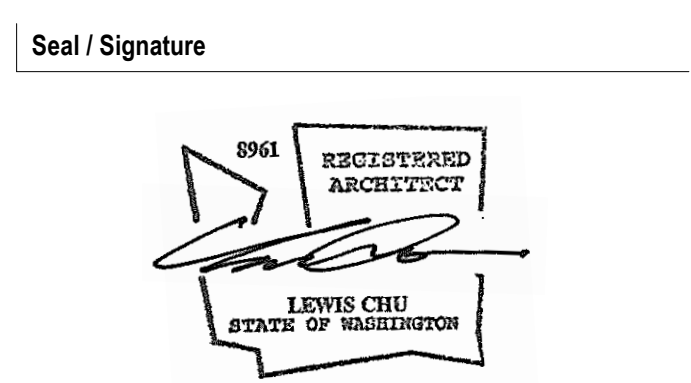
SITE LOCATION MAP



RIOT GAMES
3003 77th Avenue Southeast Mercer Island WA 98040

GENSLER
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

Table with 2 columns: Date, Description. Shows issue dates 09.22.22 and 12.22.22.



Project Name: Riot Games Mercer Island
Project Number: 05.3853.000
Description: PROJECT INFO_L3 TERRACE

Scale: 1/8" = 1'-0"

G0.105

OCC SCHEDULE- LEVEL 3 (SOUTH)				OCC SCHEDULE- LEVEL 3 (NORTH)			
Number	Name	Area	Occ Load	Number	Name	Area	Occ Load
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM - EXEMPT				ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM - EXEMPT			
3K04	ELECTRICAL	70.29 SF		3Q18	JAV	119.35 SF	
3G15	JAN. CLOS.	54.94 SF		3P10	FURN. STORAGE	411.53 SF	
3G16	ELEC ROOM	85.27 SF		3N07	IDF	181.43 SF	
3G20	DRY STORAGE	155.82 SF		(E)	(E) ELEC	30.71 SF	
3G21	CATERING STORAGE	89.94 SF				743.01 SF	0
(E)	(E) MECH	2805.40 SF		ASSEMBLY - UNCONCENTRATED (TABLES AND CHAIRS) - 15 NSF			
		3259.77 SF	0	3S19	FLEX ROOM	587.48 SF	40
ASSEMBLY - UNCONCENTRATED (TABLES AND CHAIRS) - 15 NSF				3T08	FLEX ROOM	622.26 SF	42
3K13	SERVTRY	1834.13 SF	123	3S12	CONFERENCE	358.86 SF	24
3J08	DINING	6438.76 SF	430	3S13	CONFERENCE	369.17 SF	24
3E04	OUTDOOR SEATING AREA	1123.53 SF	75	3S15	CONFERENCE	368.94 SF	24
3E05	OUTDOOR TERRACE	1164.88 SF	78	3S16	CONFERENCE	369.09 SF	24
3E06	OUTDOOR SEATING AREA	815.88 SF	55	3S17	CONFERENCE	369.23 SF	25
		11377.18 SF	781	3S10	CONFERENCE	369.24 SF	24
BUSINESS AREAS - 150 GSF				3P08	PC CAFE	735.52 SF	50
3G19	OFFICE	94.80 SF	1	3R13	CONFERENCE	179.64 SF	12
		94.80 SF	1	3R14	CONFERENCE	184.04 SF	13
EXEMPT				3R15	CONFERENCE	184.30 SF	13
3M17	WOMENS	206.03 SF		3Q16	CONFERENCE	180.11 SF	13
3K17	ALL GENDER	70.61 SF		3Q17	CONFERENCE	179.58 SF	12
3L15	HALLWAY	549.40 SF		3R12	CONFERENCE	188.49 SF	13
3K03	VEST.	82.00 SF		3R20	PANTRY	130.70 SF	9
		988.05 SF	0	3P20	FLEX ROOM	703.15 SF	47
EXERCISE / LOCKER ROOM - 50 GSF						6030.80 SF	409
3G18	LOCKER ROOM	88.29 SF	2	EXEMPT			
		88.29 SF	2	3P12	MENS	306.77 SF	
KITCHEN - 200 GSF				3P14	WOMENS	315.06 SF	
3G14	BOH + DISH ROOM	1757.85 SF	9	3R16	HALLWAY	2702.95 SF	
		1757.85 SF	9	3P17	ALL GENDER	55.13 SF	
		17565.93 SF	773	3P16	ALL GENDER	55.13 SF	
				3P15	ALL GENDER	62.31 SF	
				3N18	VEST.	127.80 SF	
				3P18	ALL GENDER	52.43 SF	
						2977.57 SF	0
				Grand total		10491.38 SF	409

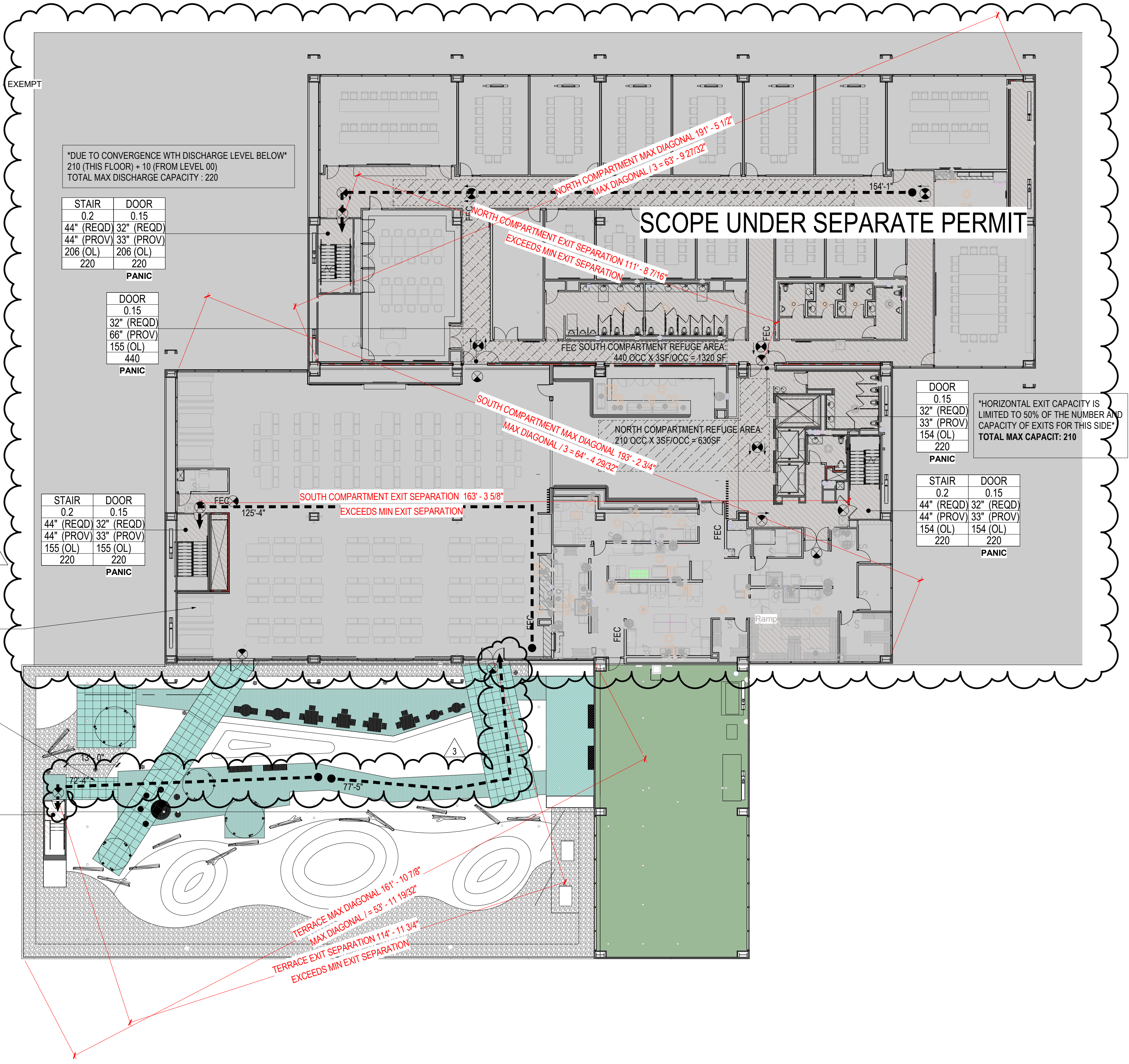
* DUE TO CONVERGENCE, 50% LIMITATION, OR HORIZONTAL EXIT LIMITATIONS (WHERE APPLICABLE), TOTAL EXIT CAPACITY: 1,100

* DUE TO CONVERGENCE, 50% LIMITATION, OR HORIZONTAL EXIT LIMITATIONS (WHERE APPLICABLE), TOTAL EXIT CAPACITY: 420

- ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM - EXEMPT
- ASSEMBLY - UNCONCENTRATED (TABLES AND CHAIRS) - 15 NSF
- BUSINESS AREAS - 150 GSF
- EXEMPT
- EXERCISE / LOCKER ROOM - 50 GSF
- KITCHEN - 200 GSF

PROVIDE 1:20 MAX SLOPE TO LEVEL WITH STAIR ENTRANCE LANDING

STAIR	DOOR
0.2	0.15
44" (REQD) 32" (REQD)	44" (PROV) 33" (PROV)
155 (OL)	154 (OL)
220	220
PANIC	



L3 OCCUPANCY AND EGRESS (TERRACE)
SCALE: 1/16" = 1'-0"

1

SHEET NOTES

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Tel: 213.327.3600
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Date	Description
09.02.22	ISSUE FOR PLAN CHECK, L3 TERRACE
3 12.22.21	ISSUE FOR BACK CHECK, L3 TERRACE

LEGEND

- (N) 2 HR RATED CONSTRUCTION
- (E) CONSTRUCTION TO REMAIN
- (N) NON RATED CONSTRUCTION
- REFUGE AREA
- EXIT SIGN
- FEB FIRE EXTINGUISHER CABINET 75' MAX TRAVEL DISTANCE
- DOOR COMPONENT
- 0.15 WIDTH FACTOR VALUE
- 0" (REQD) REQUIRED WIDTH
- 0" (PROV) WIDTH PROVIDED
- (OL) OCCUPANT LOAD
- 0 CAPACITY
- PANIC PANIC HARDWARE REQUIRED
- 0'-0" COMMON PATH OF TRAVEL WITH TRAVEL DISTANCE
- 0'-0" EXIT ACCESS TRAVEL WITH TRAVEL DISTANCE
- 0'-0" DEAD END WITH DISTANCE

Seal / Signature

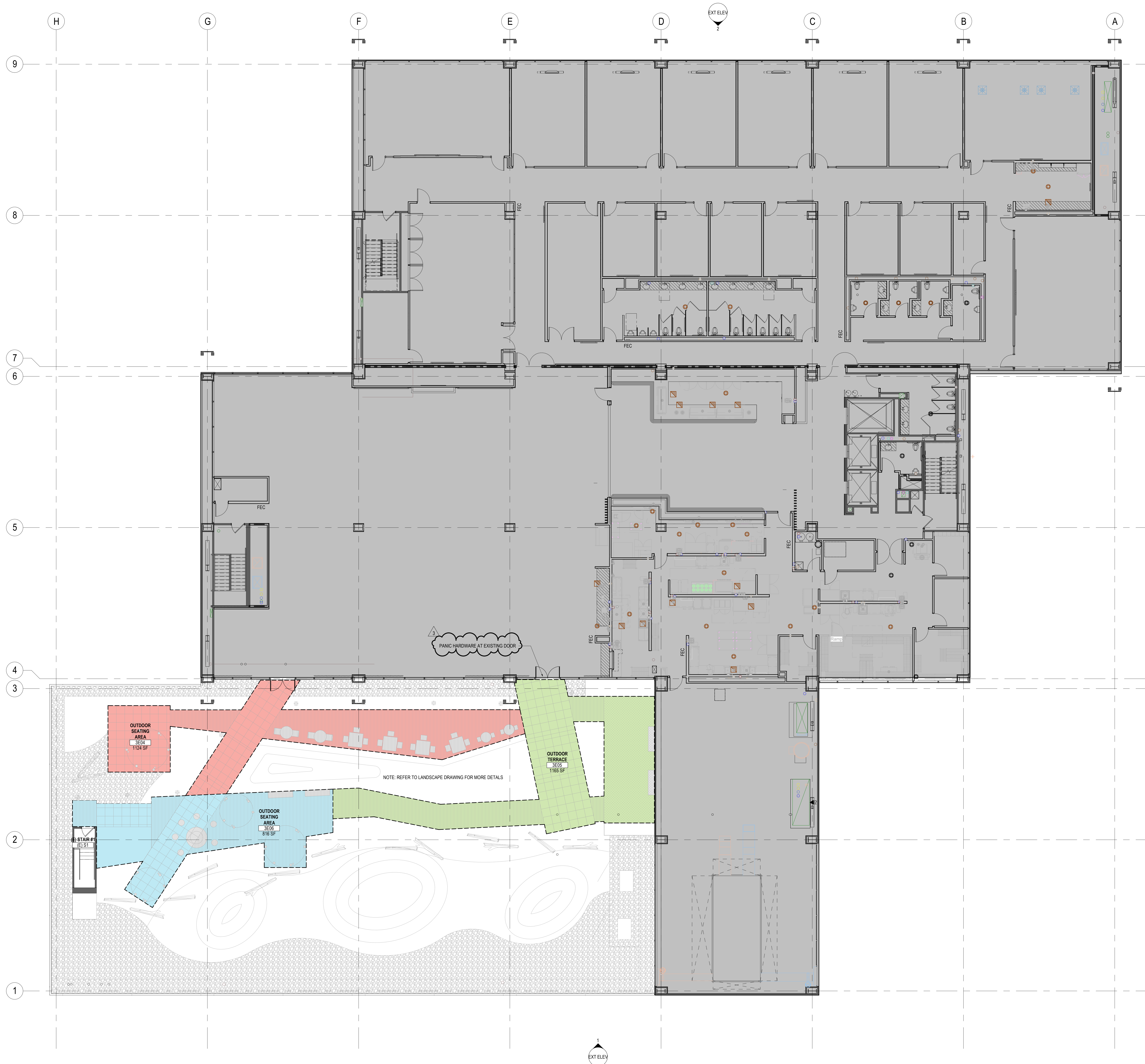
Project Name
Riot Games Mercer Island

Project Number
05.3853.000

Description
OCCUPANCY AND EGRESS PLAN - L3 TERRACE

Scale
1/16" = 1'-0"

G0.202



GENERAL NOTES

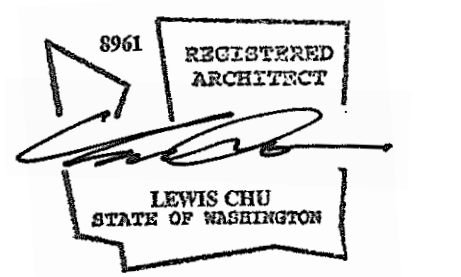
- 1 REF. GO 105 FOR GRAPHIC SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
- 2 GC TO CLEAN / REPAIR EXISTING PERIMETER MULLION / CONNECTOR TO LIKE NEW CONDITION.
- 3 ALL PERIMETER WALLS AND COLUMNS TO RECEIVE CORNER BEADS AND PATCHING TO "AS NEW CONDITION" EXIST GWS FURRING TO BE EXTENDED TO 6" ABOVE C.L.G. U.O.N. WHERE NEW SLAB HEIGHT WALL CONSTRUCTION MEETS COLUMN EXTEND GYP BD ON COLUMN TO DECK.
- 4 PROVIDE FLEXIBLE SEALANT (WHITE) WHERE GYPSUM IS IN THE SAME PLANE OF EXISTING ARCHITECTURE. COORDINATE LOCATIONS IN FIELD FOR APPROVAL BY ARCHITECT.
- 5 NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
- 6 ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- 7 REFER TO PROJECT MANUAL AND DOOR SCHEDULE FOR UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES.
- 8 PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH AND REPAIR EXIST SURFACES AS REQ'D TO RECEIVE NEW FINISH.
- 9 RELAPINATE ANY / ALL PERIMETER OR INTERIOR COLUMNS TO ACHIEVE REQUIRED FIRE RATINGS. COORDINATE FINAL DIMENSIONS WITH ARCHITECT AT EACH LOCATION. SEE PARTITION TYPE D.
- 10 FOR ANY FLOOR PENETRATION - X-RAY SLAB PRIOR TO CUTTING. CUT NO MORE THAN (1) BAR 188 EA DIRECTION, TYP.
- 11 PATCH AND REPAIRING EXISTING ROOFING TO MAINTAIN ROOFING WARRANTY.

Date	Description
09.02.22	ISSUE FOR PLAN CHECK, L3 TERRACE
3 12.22.21	ISSUE FOR BACK CHECK, L3 TERRACE

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW INTERIOR WALL
- NEW DOOR
- AREA NOT IN SCOPE
- MILLWORK
- FULLY RECESSED FIRE EXTINGUISHER CABINET

Seal / Signature



Project Name
Riot Games Mercer Island

Project Number
05.3853.000

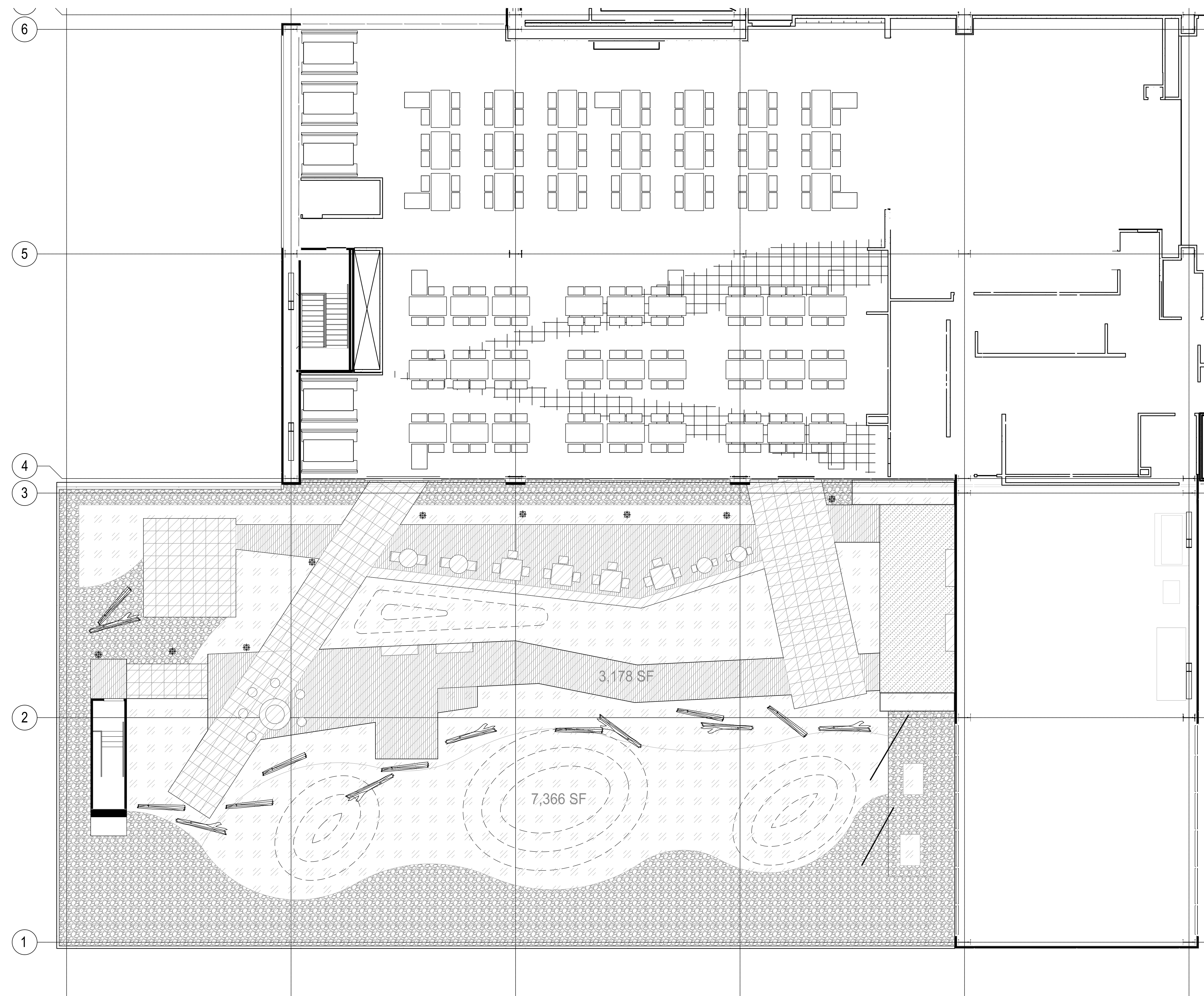
Description
CONSTRUCTION PLAN - L3 TERRACE

Scale
1/8" = 1'-0"

A0.103

SHEET INDEX

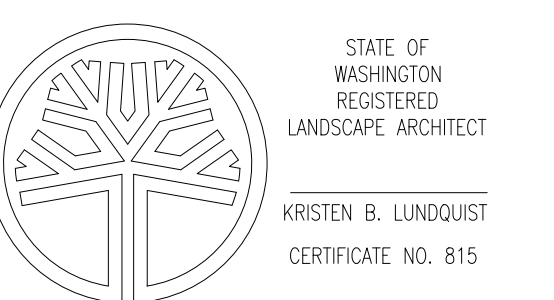
SHEET	DESCRIPTION
L0.01	COVER / INDEX
L1.01	DEMO PLAN
L2.01	LAYOUT PLAN
L3.01	LANDSCAPE PLAN
L4.01	LANDSCAPE GRADING PLAN
L5.01	PLANTING PLAN
L6.01	DETAILS



1 LANDSCAPE CALCULATIONS
1/8" = 1'-0"



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MERCER ISLAND, WA
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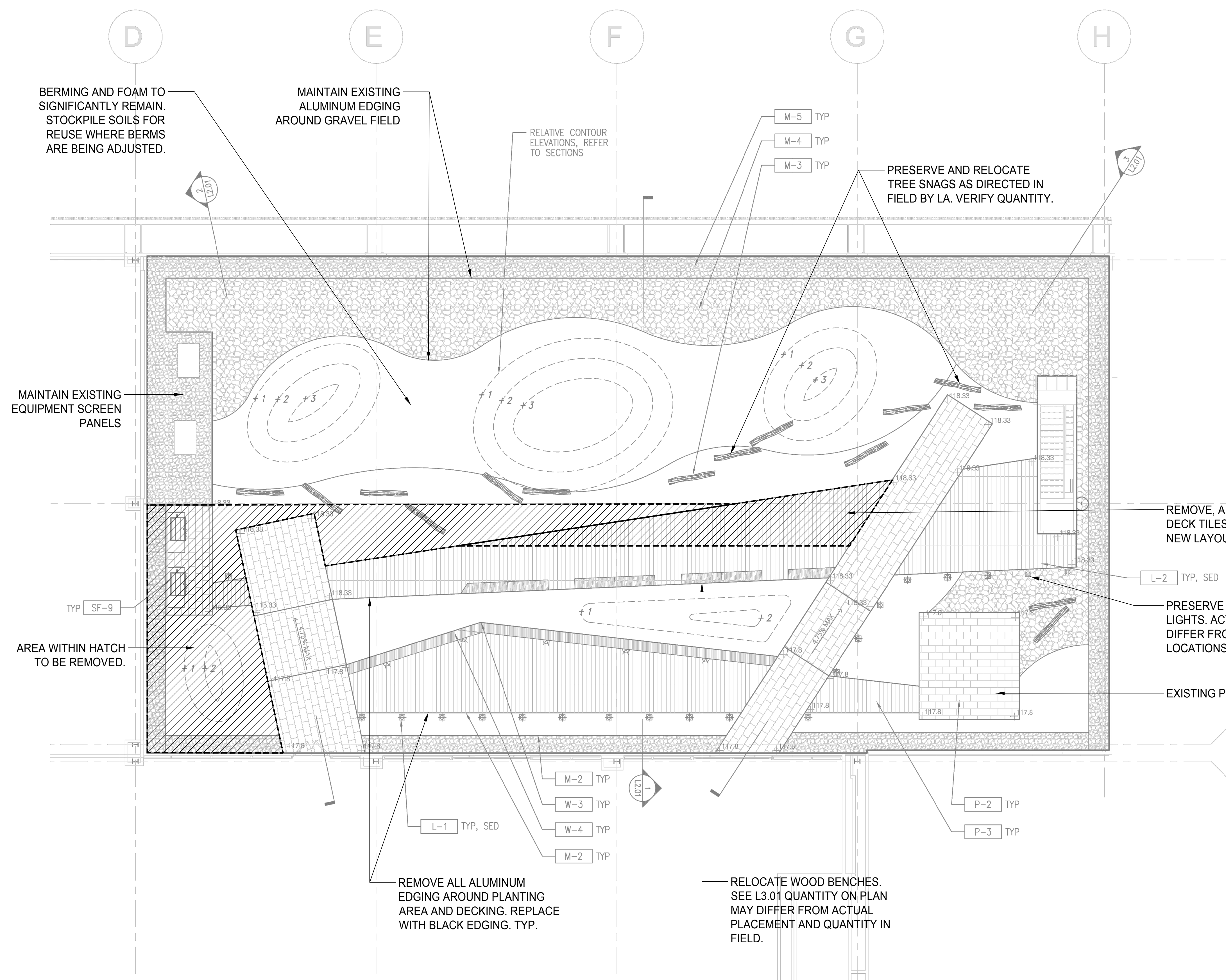
SUBMITTAL
12.22.22
ISSUE FOR BACK CHECK -
L3 TERRACE

REVISIONS

REVISION DATE REASON FOR ISSUE
ISSUE DATE 09/02/2022

SHEET NAME
COVER/INDEX

SHEET NUMBER
L0.01



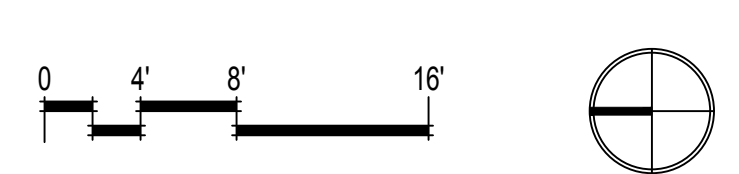
KEY	DESCRIPTION	DETAIL
PAVING AND PAVING ACCESSORIES		
P-2	PEDESTAL SET PAVERS	2/L3.01
P-3	WOOD DECKING OVER PEDESTAL	2/L3.01
P-4	PEDESTAL SYSTEM	2/L3.01
WALLS & LANDSCAPE STRUCTURES		
W-3	PLANTER WALL	5/L3.01
W-4	WOOD BENCH	7/L3.01
DRAINAGE		
D-1	DRAIN MAT	3/L10.04
LIGHTING		
L-1	BOLLARD LIGHT	
L-2	WALL LIGHT	
SITE FURNISHINGS		
SF-9	BBO	-
MISCELLANEOUS		
M-1	MULCH	-
M-2	EDGE CONSTRAINT	6/L3.01
M-3	DRIFTWOOD	
M-4	DECORATIVE AGGREGATE	6/L3.01
M-5	GRAVEL	6/L3.01

LEGEND FROM EXISTING RYAN COMPANIES PLANS SHOWN FOR REFERENCE.

NOTES:

- EXISTING PLAN IS FROM PLAN SET DATED MARCH 15, 2021 FROM RYAN COMPANIES AND IS NOT AN AS-BUILT. AS SUCH DISCREPANCIES BETWEEN PLAN AND ACTUAL CONDITIONS IN FIELD MAY EXIST.
- PRESERVE AND PROTECT EXISTING WATERPROOFING, AND ROOF DRAINS.
- EXISTING IRRIGATION AND VALVE BOXES TO REMAIN. VERIFY SYSTEM FULLY FUNCTIONS PRIOR TO STARTING ANY DEMOLITION. CUT AND CAP ANY IRRIGATION PIPING THAT IS ENCOUNTERED DURING DEMO AND WILL NEED RELOCATION. DOCUMENT LOCATIONS AND FLAG FOR RECONNECTION. LOCATE CONTROLLER AND IDENTIFY ALL ZONES PRIOR TO DEMO. DOCUMENT ACTIVE ZONES FOR REESTABLISHMENT AFTER COMPLETION OF IMPROVEMENTS.
- SOME PAVERS HAVE STAINING ON THEM. REVIEW IN FIELD PRIOR TO REMOVAL. ASSUME 50% REPLACEMENT.
- REVIEW PLANT MATERIALS IN FIELD WITH LA TO IDENTIFY ANY VEGETATION TO BE REMOVED AND REPLACED. ALL OTHER VEGETATION NOT IDENTIFIED FOR REMOVAL OR RELOCATION SHALL BE PROTECTED. PROVIDE TEMPORARY WATER DURING SUMMER SEASON IF IRRIGATION IS NOT RECONNECTED IN TIME.
- CAREFULLY INSPECT PEDESTALS DURING REMOVAL FOR REUSE. AND PEDESTALS WITH VISIBLE DAMAGE OR SIGNS OF CRACKING OR STRESS SHALL NOT BE REUSED. NEW PEDESTALS AND NEOPRENE PADS SHALL MATCH EXISTING MANUFACTURER AND MODEL.
- NOTIFY OWNER / ARCHITECT OF ANY EXISTING CONDITIONS OBSERVED DURING DEMO THAT MAY INDICATE DAMAGE OR REPAIR NEEDED OF WATERPROOFING OR ANY EXISTING MATERIALS TO REMAIN OR BE RELOCATED/ REUSED.
- MAINTAIN EXISTING ROOF DRAINS AND BOXES AROUND PERIMETER OF TERRACE. WHERE ROOF DRAINS FALL UNDER PAVERS. INSTALL STAINLESS PIN ON SW CORNER OF PAVERS THAT SIT OVER DRAIN BODIES.
- RESERVE AND PROTECT EXISTING HOSE BIBS.

1 DEMOLITION PLAN
1/8" = 1'-0"



RIOT GAMES
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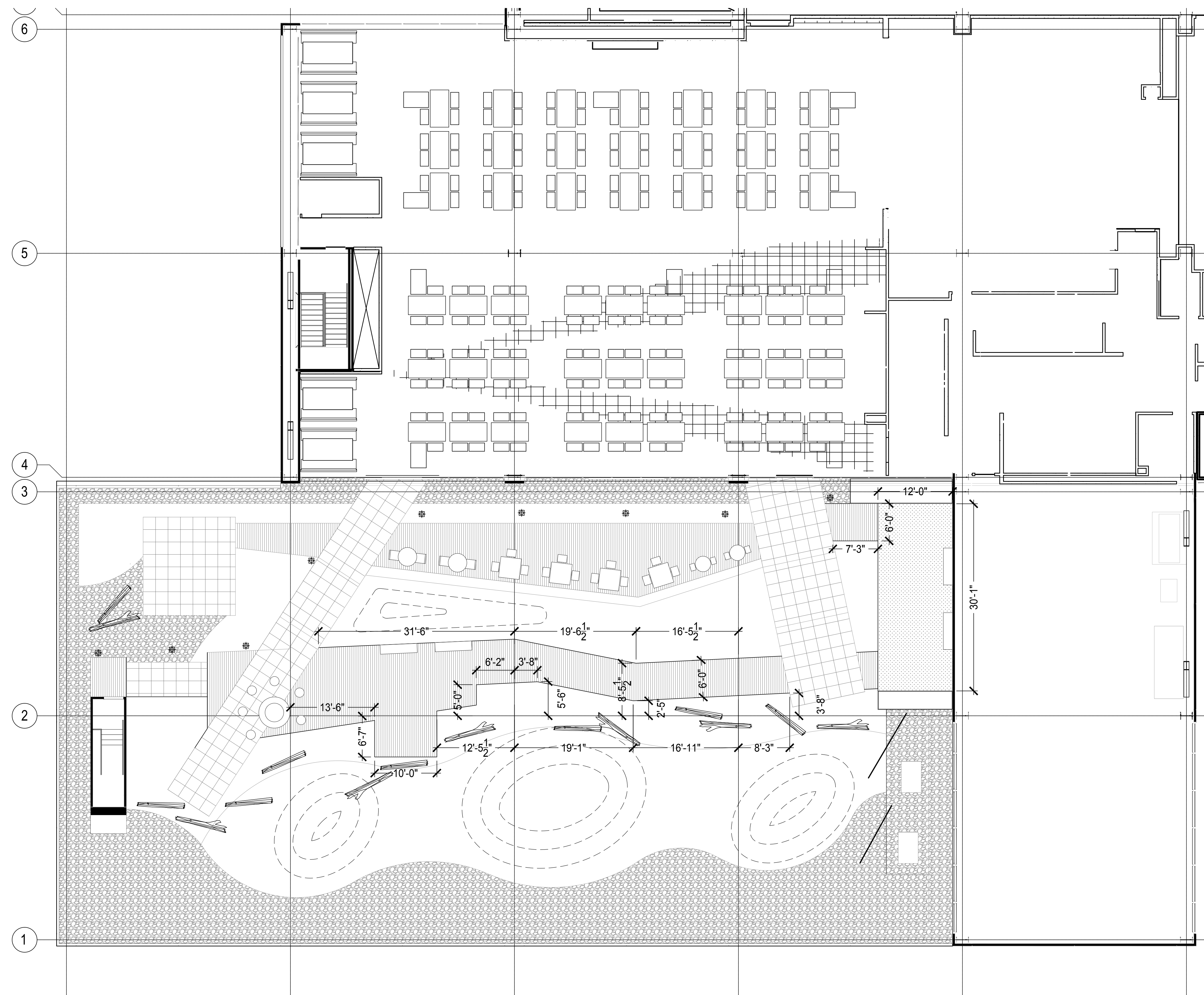
SUBMITTAL
12.22.22
ISSUE FOR BACK CHECK -
L3 TERRACE

REVISIONS

REVISION DATE REASON FOR ISSUE
ISSUE DATE 09/02/2022

SHEET NAME
DEMO PLAN

SHEET NUMBER
L1.01



1 LANDSCAPE LAYOUT PLAN
1/8" = 1'-0"

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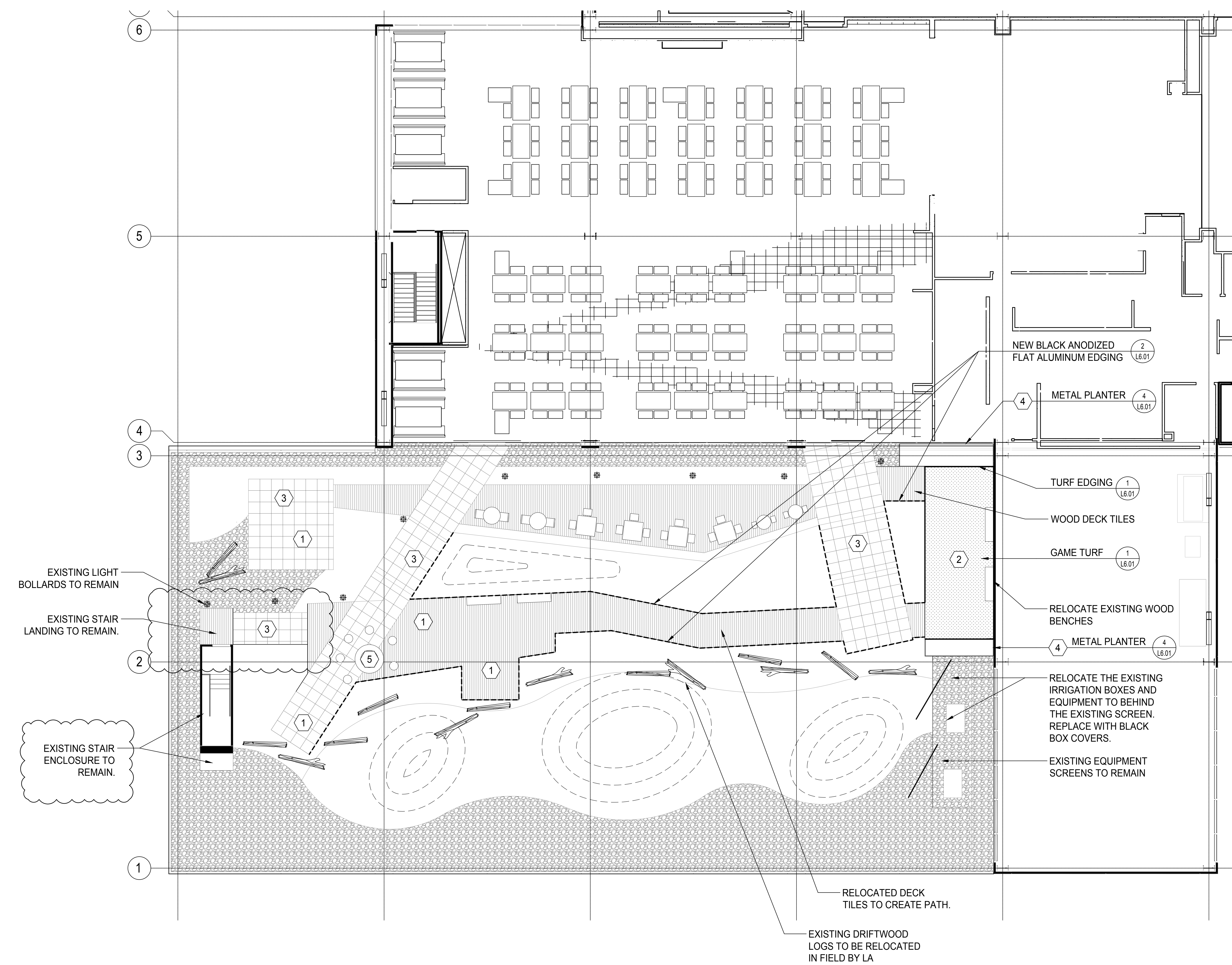
REVISION	DATE	REASON FOR ISSUE
	09/02/2022	

LAYOUT PLAN -
TERRACE

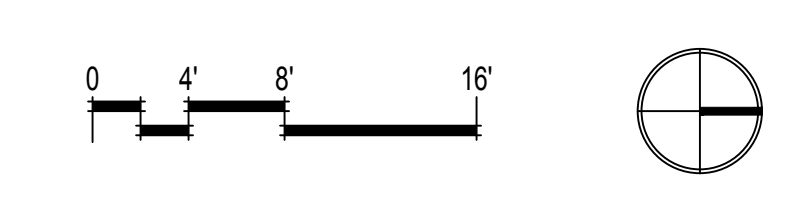
SHEET NUMBER
L2.01

SYMBOL	DESCRIPTION
	FOR REFERENCE ONLY. DEFERRED SUBMITTAL. TEMPORARY CANVAS YURTS BY RAINIER OUTDOORS, KESTREL YURTS WITH SINGLE DOOR AND WINDOW. (3) 8' AND (2) 10' SIZES.
	SYNTHETIC TURF - PEDESTAL SET. FUSION PRO SYNTHETIC TURF BY EASTSIDE FOREVER LAWN.
	CONCRETE PAVERS, 2X2'. CHARCOAL. REPLACE STAINED AND MARKED UP PAVERS WITH NEW CHARCOAL PAVERS. ALLOW FOR 50% OF EXISTING TO BE REPLACED.
	ALUMINUM PLANTERS BY ORE. RECTANGLE PLANTERS. SIZES: X X 24" HT.
	FIRE BOWL: BY LUMACAST. BOLA SLIM. 48" DIA. COLOR INKWELL. SMOOTH BASALT INFILL. INCLUDE ALUMINUM TABLETOP. ELECTRONIC IGNITION. PROVIDE AUTO TIMER AND EMERGENCY SHUTOFF. NG FUEL. PROVIDE PROPANE TANK AND KIT AS ALTERNATE.

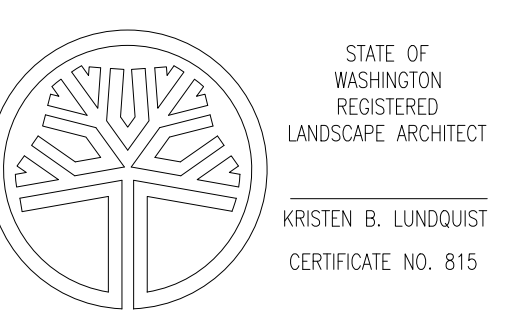
- NOTES:
- FURNITURE SHOWN FOR REFERENCE ONLY.
 - MAINTAIN EXISTING ROOF DRAINS AND BOXES AROUND PERIMETER OF TERRACE. WHERE ROOF DRAINS FALL UNDER PAVERS, INSTALL STAINLESS PIN ON SW CORNER OF PAVERS THAT SIT OVER DRAIN BODIES.
 - REUSE EXISTING DRIFTWOOD LOGS ON TERRACE. RELOCATE IN LANDSCAPE AREAS AS DIRECTED IN THE FIELD WITH LANDSCAPE ARCHITECT.
 - COVER ANY BARE SOIL EXPOSED DURING CONSTRUCTION. UTILIZE FOAM AS NECESSARY TO ACHIEVE GRADES SHOWN. MAXIMUM FOAM THICKNESS 24". SOIL DEPTH 12" MAXIMUM.
 - PROVIDE ELECTRICAL RECEPTACLES FOR FUTURE AV SYSTEMS, INCLUDING MICROPHONE HOOKUPS AND SPEAKERS. SEE ELECTRICAL PLANS.



1 LANDSCAPE MATERIALS PLAN
1/8" = 1'-0"



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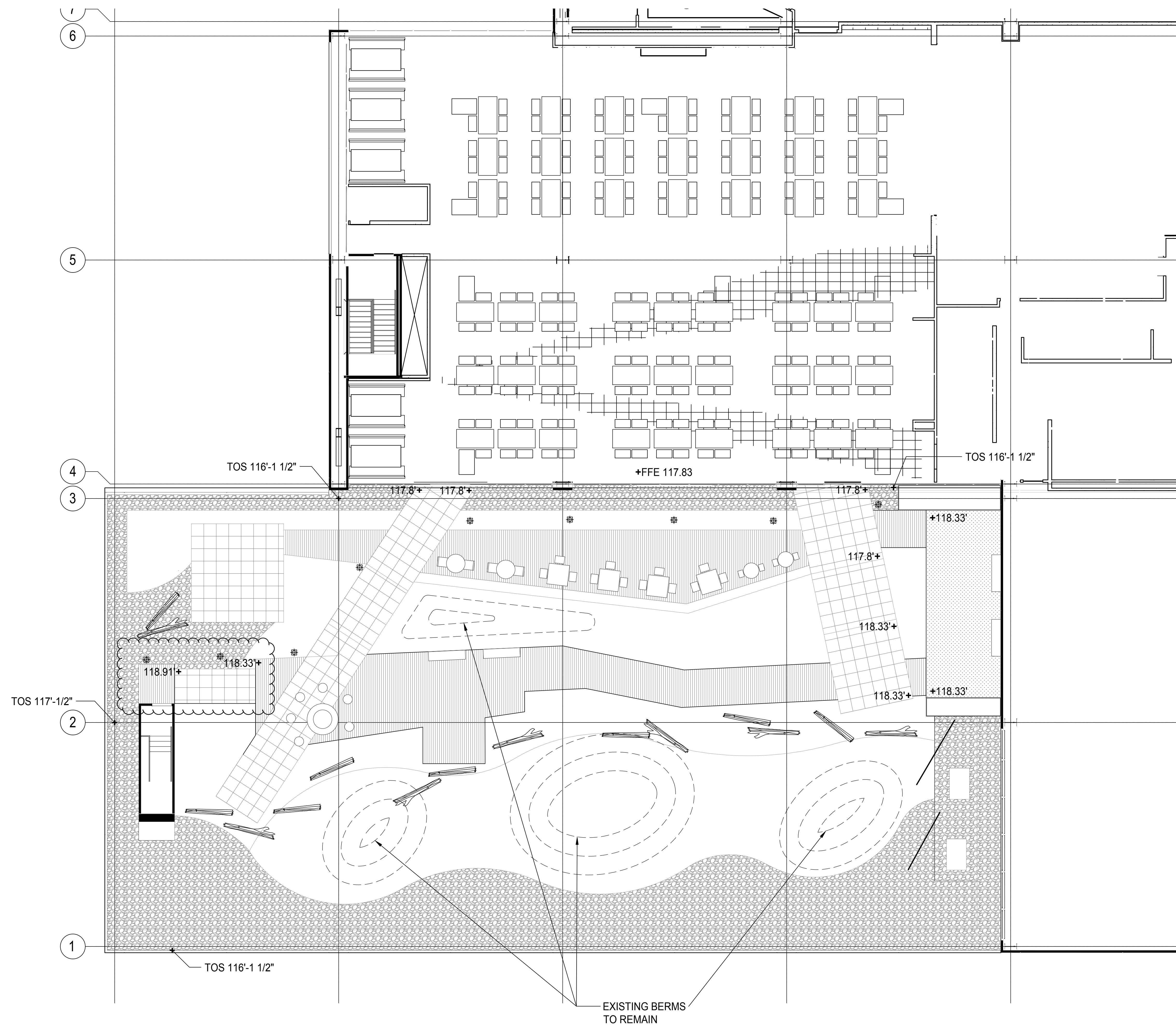
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REVISION DATE REASON FOR ISSUE
ISSUE DATE 09/02/2022

LANDSCAPE MATERIALS PLAN -
TERRACE

SHEET NUMBER
L3.01



NOTES AND ABBREVIATIONS:

1. ALL EXISTING GRADES FOR FFE AND TOP OF STRUCTURE ARE BASED ON EXISTING EXTERIOR PLANS BY RYAN COMPANY. INFORMATION SHOULD BE FIELD VERIFIED FOR ACCURACY.

FFE: FINISHED FLOOR ELEVATION
 TOS: TOP OF STRUCTURE
 TP: TOP OF PLANTER EDGING

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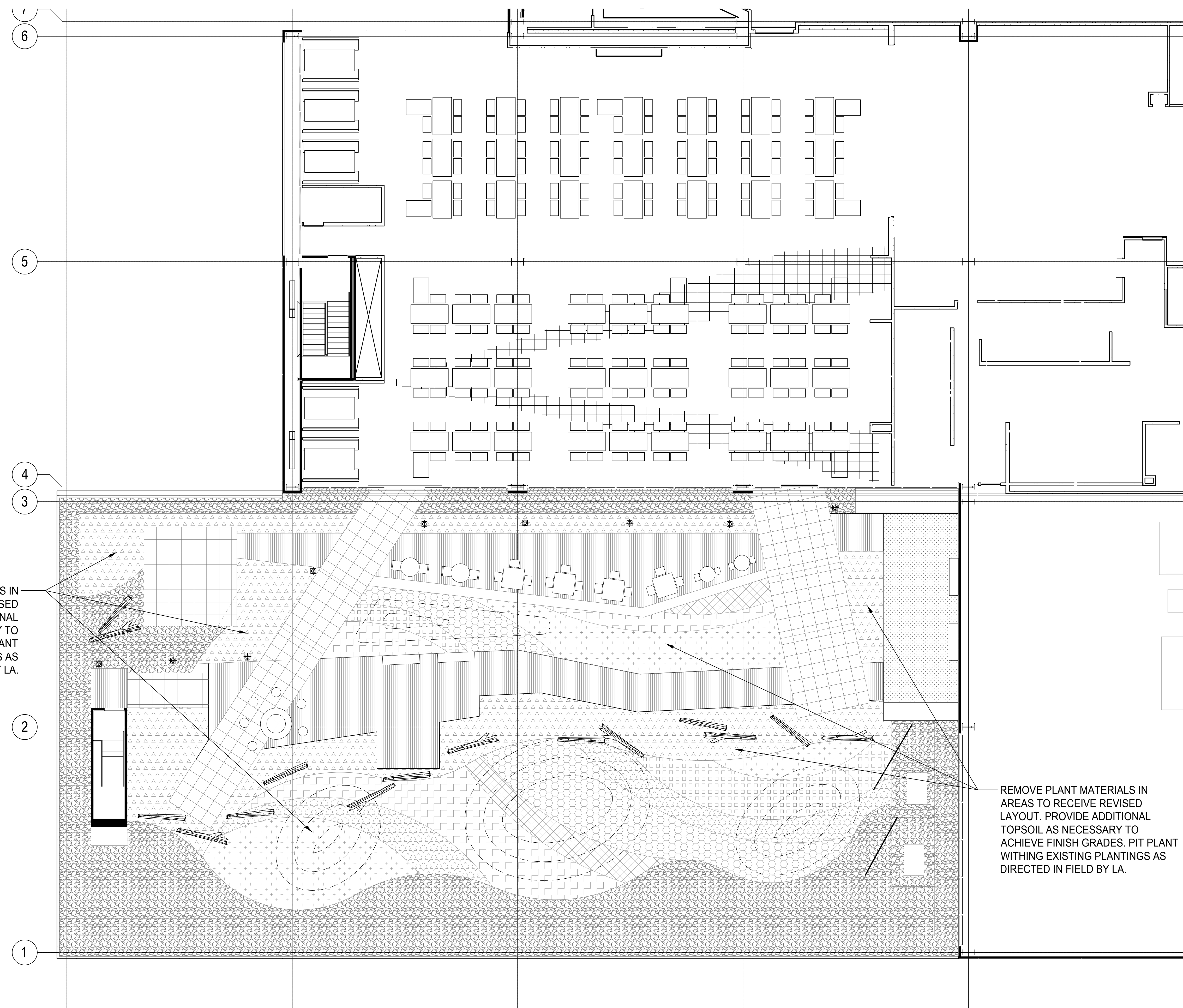
REVISION	DATE	REASON FOR ISSUE
	09/02/2022	

LANDSCAPE GRADING
PLAN - TERRACE

SHEET NUMBER

L4.01





LANDSCAPE NOTES

1. CONTRACTOR TO REMOVE ALL EXISTING PLANT MATERIALS, NOT INDICATED TO REMAIN, FROM ALL AREAS INDICATED TO RECEIVE NEW LANDSCAPE IMPROVEMENTS. PRIOR TO REMOVAL, VERIFY LIMITS IN THE FIELD WITH LA.
2. ALL LANDSCAPE AREAS TO BE FULLY IRRIGATED BY A FULLY FUNCTIONING IRRIGATION SYSTEM SPECIFIED ON THE EXISTING IRRIGATION PLANS. RESET AND REPAIR AS NECESSARY TO PROVIDE FULL COVERAGE TO ALL LANDSCAPE AREAS IMPACTED BY IMPROVEMENTS.
3. PLANTS TO BE LAID OUT BY LA IN FIELD PRIOR TO PIT PLANTING. PROVIDE QUANTITIES PRE SCHEDULE BELOW.
4. EXISTING PLANTING PER EXISTING PLANS SHOWN FOR REFERENCE ONLY.

PLANT SCHEDULE

QUANTITY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
15	DESCHAMPSIA CESPITOSA / TUFTED HAIR GRASS	1 GAL	18" oc
25	DIANELLA REVOLUTA 'DR5000' TM / LITTLE REV FLAX LILY	1 GAL	12" oc
15	ELYMUS ARENARIUS BLUE DUNE / BLUE DUNE LYME GRASS	1 GAL	18" oc
20	FESTUCA GLAUCA 'ELIJAH BLUE' / ELIJAH BLUE FESCUE	1 GAL	18" oc
15	GAURA LINDHEIMERI 'SISKIYOU PINK' / SISKIYOU PINK GAURA	1 GAL	18" oc
5	HESPERALOE PARVIFLORA 'STRAIGHT UP RED' / STRAIGHT UP RED YUCCA	1 GAL	24" oc
12	HESPERALOE PARVIFLORA 'YELLOW' / YELLOW YUCCA	1 GAL	24" oc
12	KNIPHOFIA X 'POCO YELLOW' / POCO YELLOW HOT POKER	1 GAL	18" oc
50	MOLINIA CAERULEA ARUNDINACEA 'SKYRACER' / SKYRACER MOOR GRASS	1 GAL	24" oc
15	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	1 GAL	24" oc
50	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL	18" oc
25	PENNISETUM ORIENTALE 'KARLEY ROSE' / KARLEY ROSE FOUNTAIN GRASS	1 GAL	24" oc
15	ROSMARINUS OFFICINALIS 'BLUE SPIRES' / BLUE SPIRES ROSEMARY	1 GAL	24" oc
50	SEDUM SPECTABILE 'AUTUMN JOY' / AUTUMN JOY STONECROP	1 GAL	18" oc
25	SEDUM TELEPHIUM 'DARK MAGIC' / DARK MAGIC STONECROP	1 GAL	18" oc
25	VERBENA BONARIENSIS 'LOLLIPOP' / LOLLIPOP TALL VERBENA	1 GAL	24" oc
20	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL	18" oc

REMOVE PLANT MATERIALS IN AREAS TO RECEIVE REVISED LAYOUT. PROVIDE ADDITIONAL TOPSOIL AS NECESSARY TO ACHIEVE FINISH GRADES. PIT PLANT WITHING EXISTING PLANTINGS AS DIRECTED IN FIELD BY LA.

REMOVE PLANT MATERIALS IN AREAS TO RECEIVE REVISED LAYOUT. PROVIDE ADDITIONAL TOPSOIL AS NECESSARY TO ACHIEVE FINISH GRADES. PIT PLANT WITHING EXISTING PLANTINGS AS DIRECTED IN FIELD BY LA.

1 PLANTING PLAN
1/8" = 1'-0"



RIOT GAMES
MERCER ISLAND, WA
98040



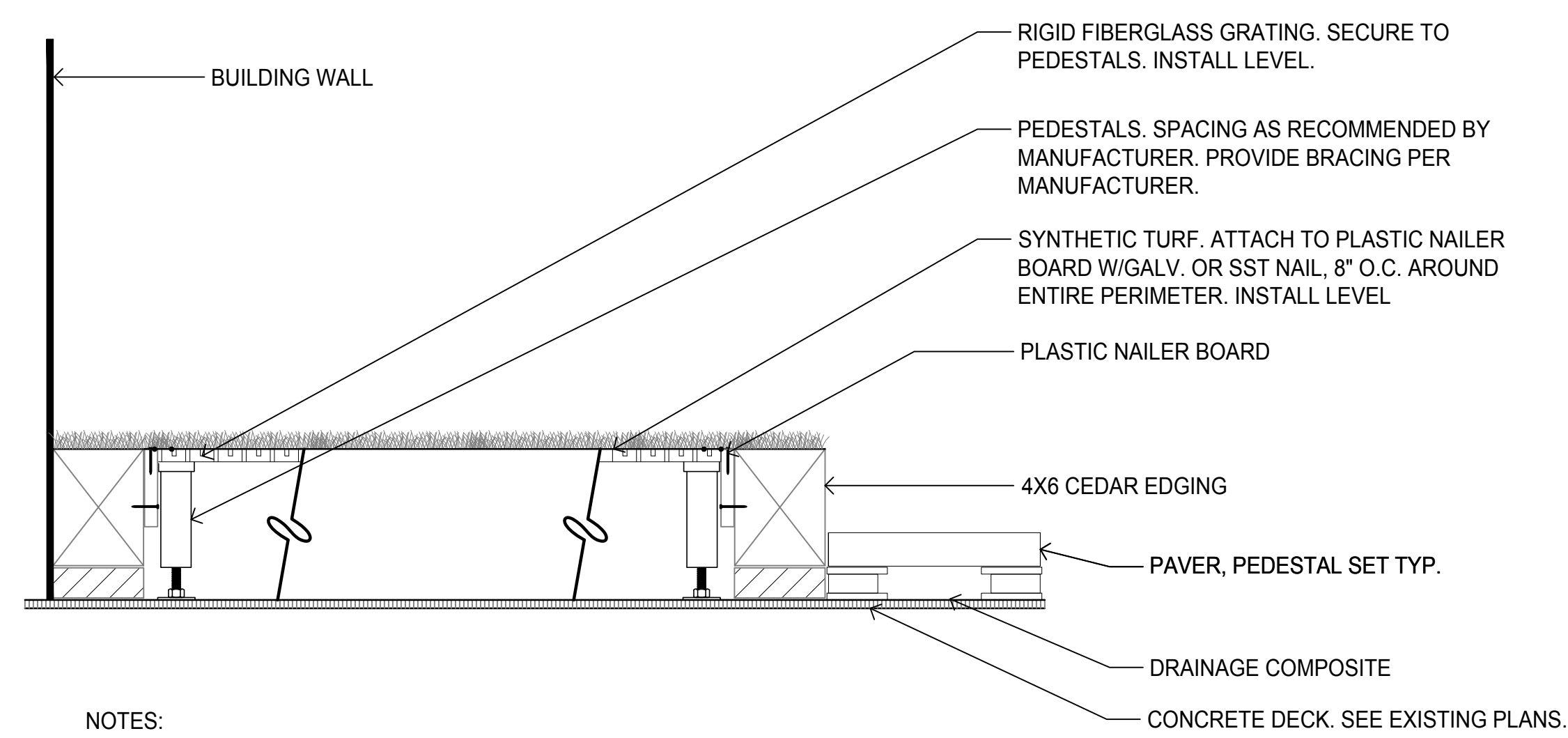
SUBMITTAL
12.22.22
ISSUE FOR BACK CHECK -
L3 TERRACE

REVISIONS

REVISION DATE REASON FOR ISSUE
ISSUE DATE 09/02/2022

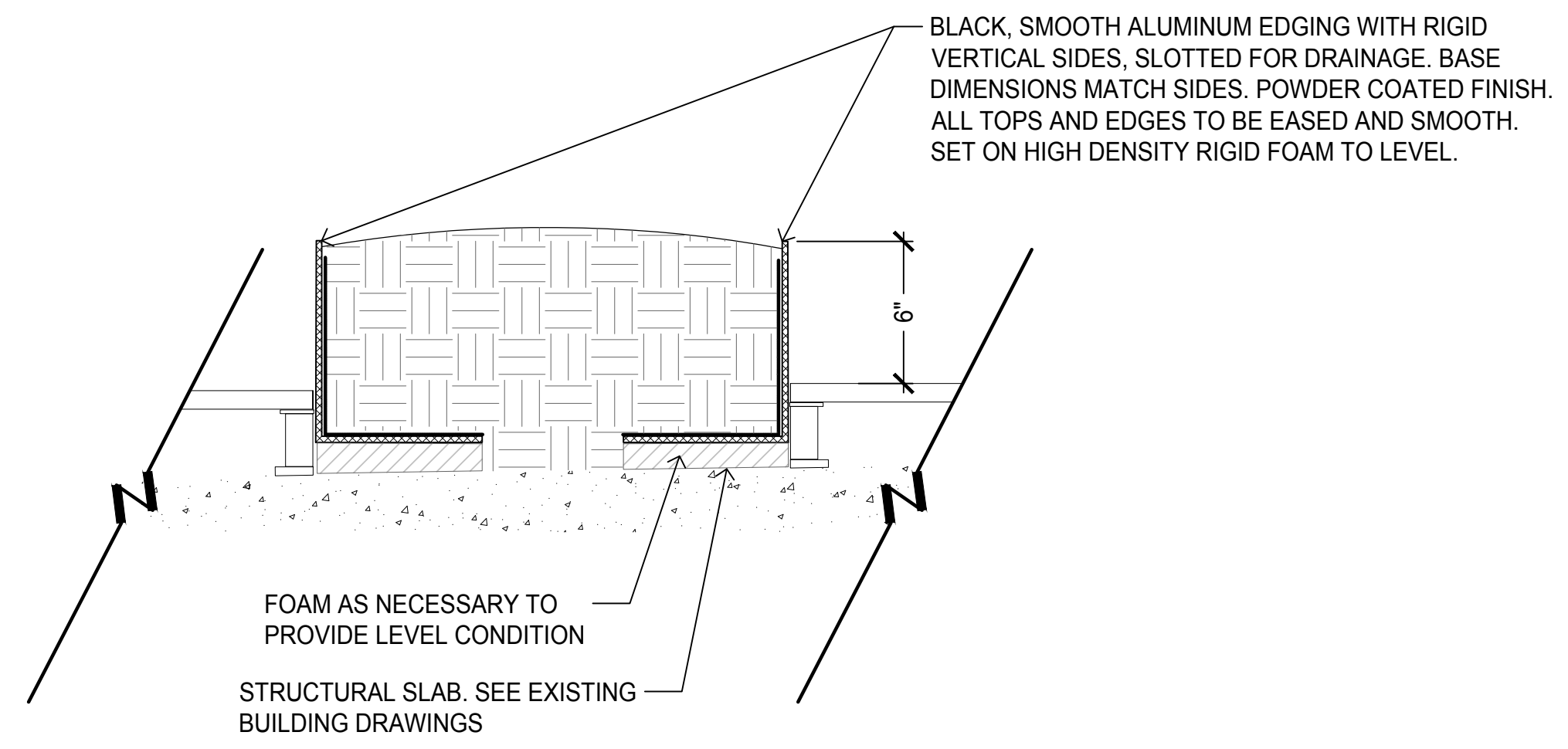
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PLANTING PLAN -
TERRACE

SHEET NUMBER
L5.01

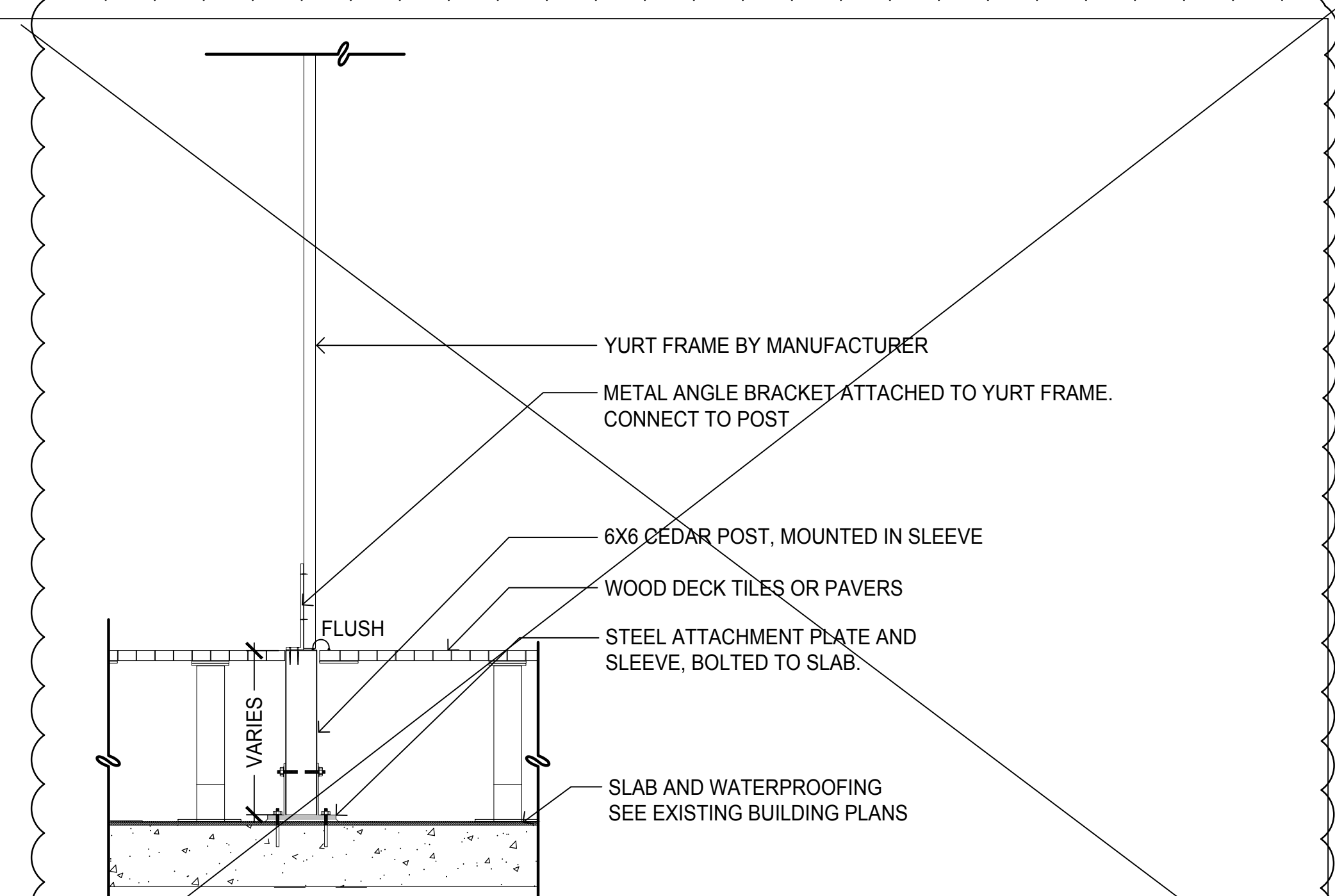


- NOTES:
1. SYNTHETIC TURF: BOCCAGEGRASS PLAY BY FOREVERLAWN BELLEVUE
 2. MOLDED FIBERGLASS GRATING: 1-1/2" THICK 3/4" MINI-GRID DURAGRATE.
 3. PEDESTALS: DURAGRATE ELEVATED FLOOR SYSTEM OR APPROVED EQUAL.
 4. NAILER BOARD: 1"x6" PLASTIC LUMBER. RIP TO FIT LOWER CURB HEIGHT.
 5. DRAINAGE COMPOSITE: AMERICAN WICK DRAIN, STRIP DRAIN 6000 OR APPROVED EQUAL. INSTALL BENEATH PT EDGING.

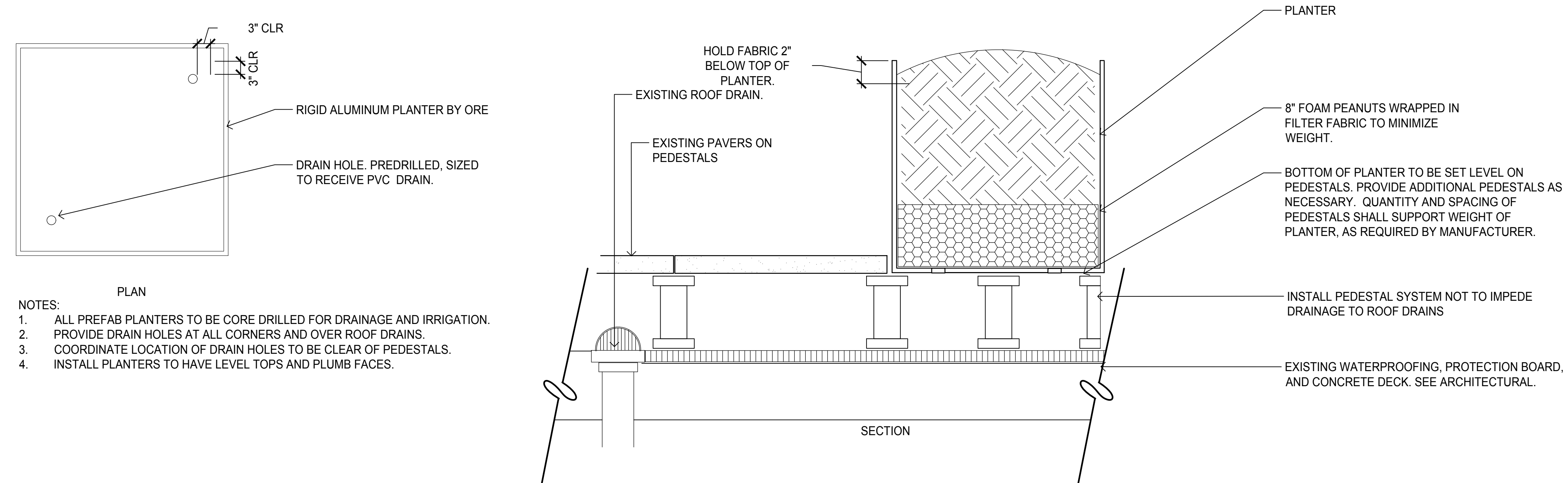
1 SYNTHETIC GAME TURF ON PEDESTALS
NTS



2 ALUMINUM PLANTER EDGING
NTS



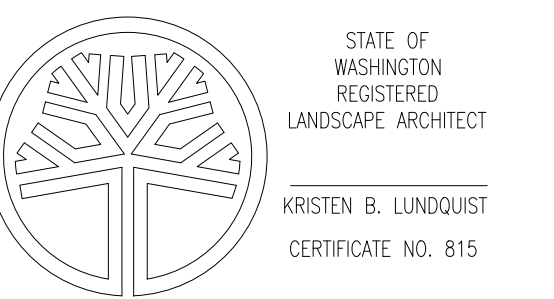
3 YURT FRAME CONNECTION POST
NTS



- NOTES:
1. ALL PREFAB PLANTERS TO BE CORE DRILLED FOR DRAINAGE AND IRRIGATION.
 2. PROVIDE DRAIN HOLES AT ALL CORNERS AND OVER ROOF DRAINS.
 3. COORDINATE LOCATION OF DRAIN HOLES TO BE CLEAR OF PEDESTALS.
 4. INSTALL PLANTERS TO HAVE LEVEL TOPS AND PLUMB FACES.

4 PEDESTAL SET METAL PLANTER WITH FOAM PEANUTS FOR WEIGHT MANAGEMENT
NTS

RIOT GAMES
MERCER ISLAND, WA
98040



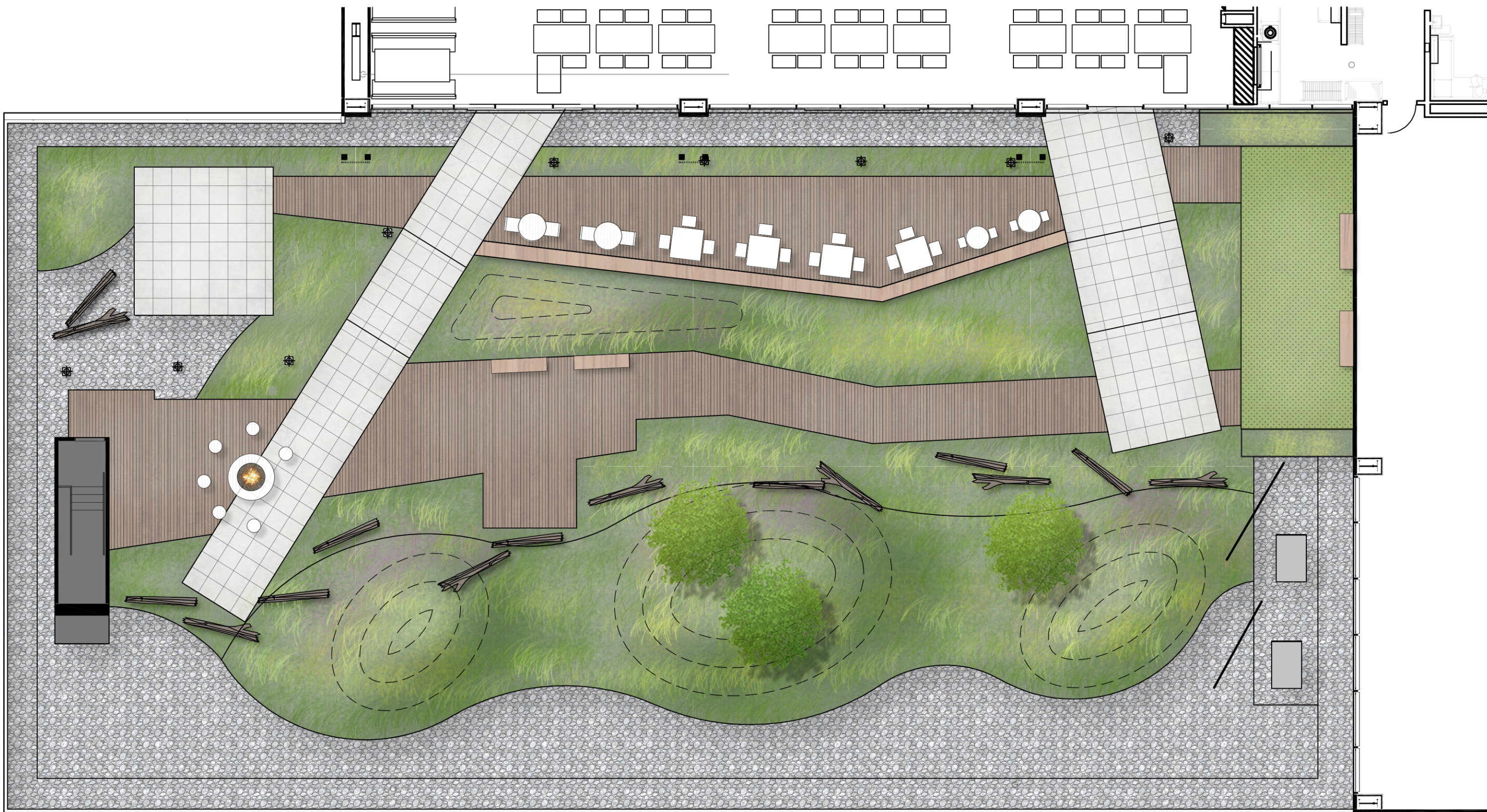
SUBMITTAL
12.22.22
ISSUE FOR BACK CHECK -
L3 TERRACE

REVISIONS

REVISION DATE REASON FOR ISSUE
ISSUE DATE 09/02/2022

SHEET NAME
DETAILS - TERRACE

SHEET NUMBER
L6.01



SHEET NOTES

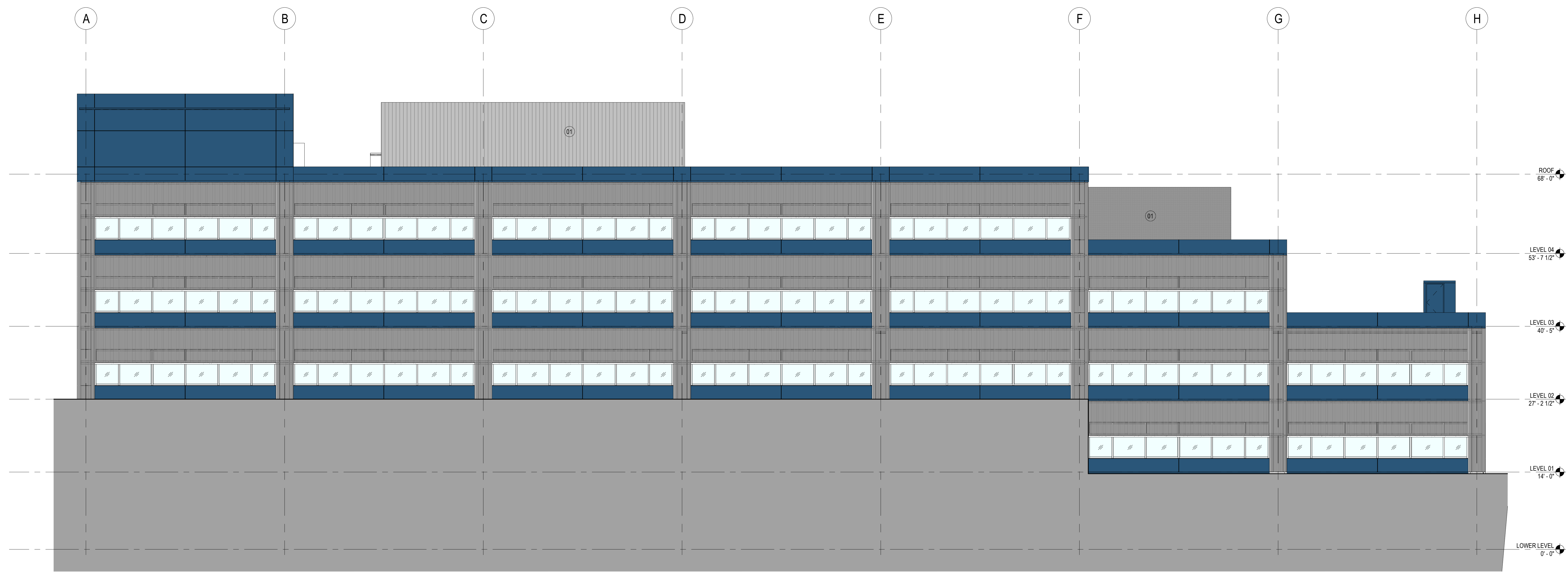
01 (N) PROPOSE ROOF SCREEN

RIOT GAMES
3003 77th Avenue Southeast Mercer Island
WA 98040

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

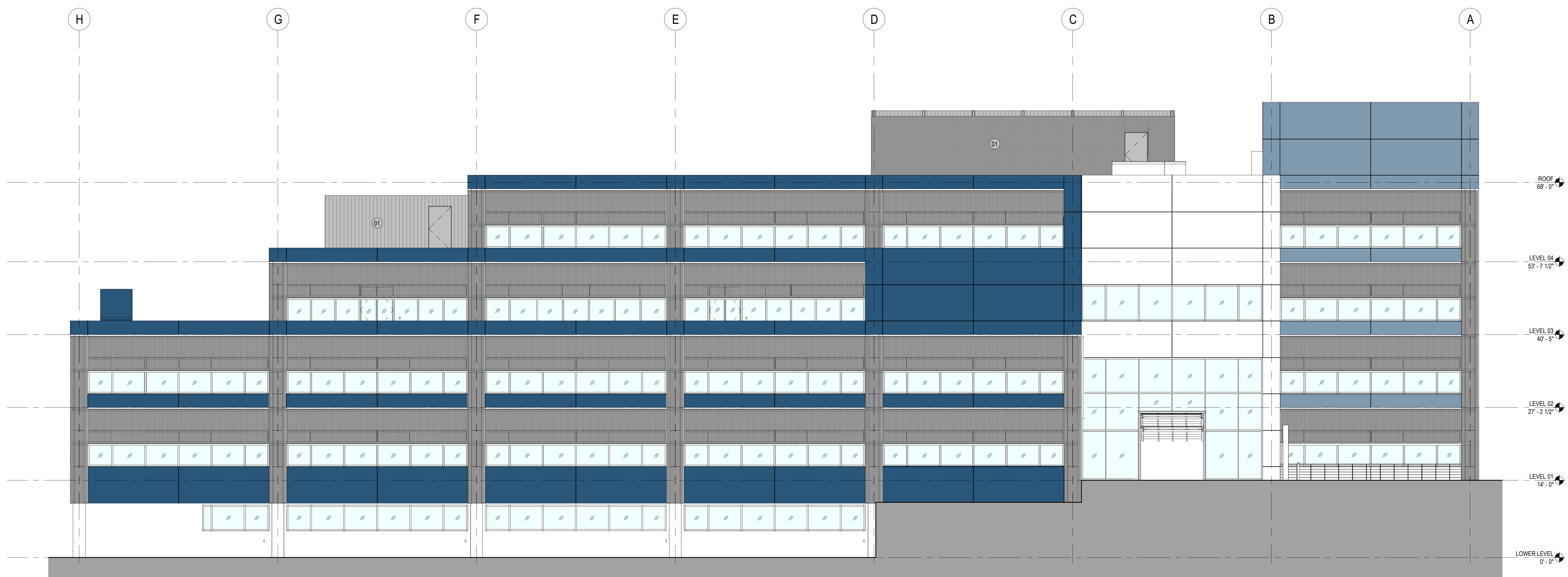
GENERAL NOTES



EXT ELEV WEST ELEVATION

SCALE: 1/8" = 1'-0"

2



EXT ELEV EAST ELEVATION

SCALE: 1/8" = 1'-0"

1

Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
Riot Games Mercer Island

Project Number
05.3853.000

Description
EXTERIOR BUILDING ELEVATIONS

Scale
1/8" = 1'-0"

EXT ELEV

SHEET NOTES

01 (N) PROPOSE ROOF SCREEN

RIOT GAMES
3003 77th Avenue Southeast Mercer Island
WA 98040

Gensler
500 South Figueroa Street
Los Angeles, California 90071
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Tel: 213.327.3600
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GENERAL NOTES

Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
Riot Games Mercer Island

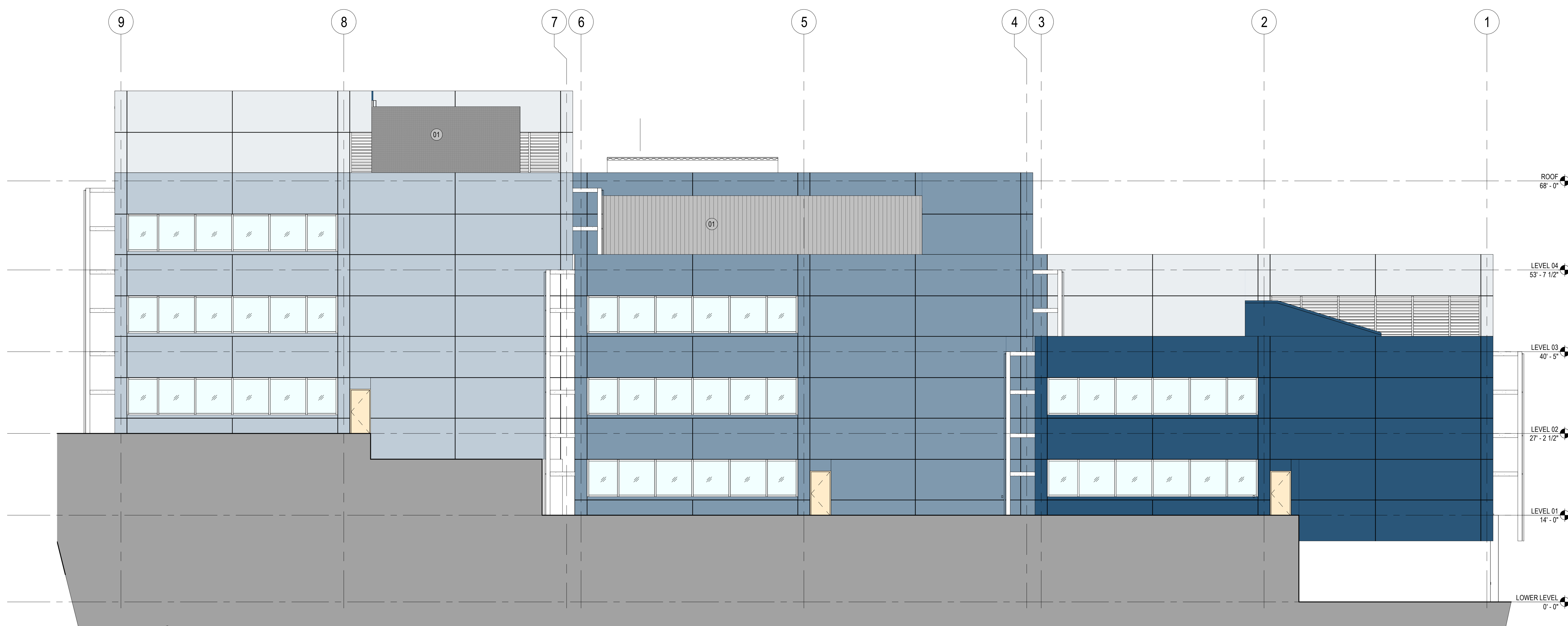
Project Number
05.3853.000

Description
EXTERIOR BUILDING ELEVATIONS

Scale
1/8" = 1'-0"

EXT ELEV_

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EXT ELEV SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

B:\05_3853_000 - Riot Games - Seattle\Interiors - Ext\05.3853.000 - EXT.rvt
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